

TO: HONORABLE CHAIRMAN AND PLANNING COMMISSION
FROM: RON WHISENAND, COMMUNITY DEVELOPMENT DIRECTOR
SUBJECT: CONDITIONAL USE PERMIT 07-002 (CLEARWIRE)
DATE: APRIL 24, 2007

Needs: For the Planning Commission to consider the applicant's request to construct a wireless communication facility within the existing Granary Building located at 1111 Riverside Avenue.

- Facts:
1. The proposed facility would consist of installing 3 panel antennas, 2 microwave antennas, and the necessary supporting equipment within the existing building.
 2. The antennas would be installed behind new radio frequency “friendly” louvers. The new louvers would look like and compliment the existing louvers in the building. The radio equipment would be located within a room inside the building. Neither the antennas nor the equipment would be visible from a public street.
 3. The property is zoned M,PD (Manufacturing, Planned Development Overlay) and the General Plan designation is CS (Commercial Service).
 4. Section 21.16.200 of the Municipal Code requires approval of a Conditional Use Permit for transmission and receiving stations in the M zoning district.
 5. The Planning Division staff has determined that this application is Categorically Exempt from environmental review per Section 15303 of the State's Guidelines to Implement CEQA.
 6. The Development Review Committee (DRC) reviewed this project at its meeting of April 16, 2007, where the Committee recommended that the Planning Commission approve the request.

Analysis

and

Conclusions: This project would be considered a “camouflaged” facility, since the antennas and equipment would be incorporated into the existing building and would not be visible. The camouflaged facility would be consistent with General Plan Land Use Element Policy 2B, relating to visual identity, including utility infrastructure.

Policy

Reference: Zoning Code, General Plan, Economic Strategy

Fiscal

Impact: None

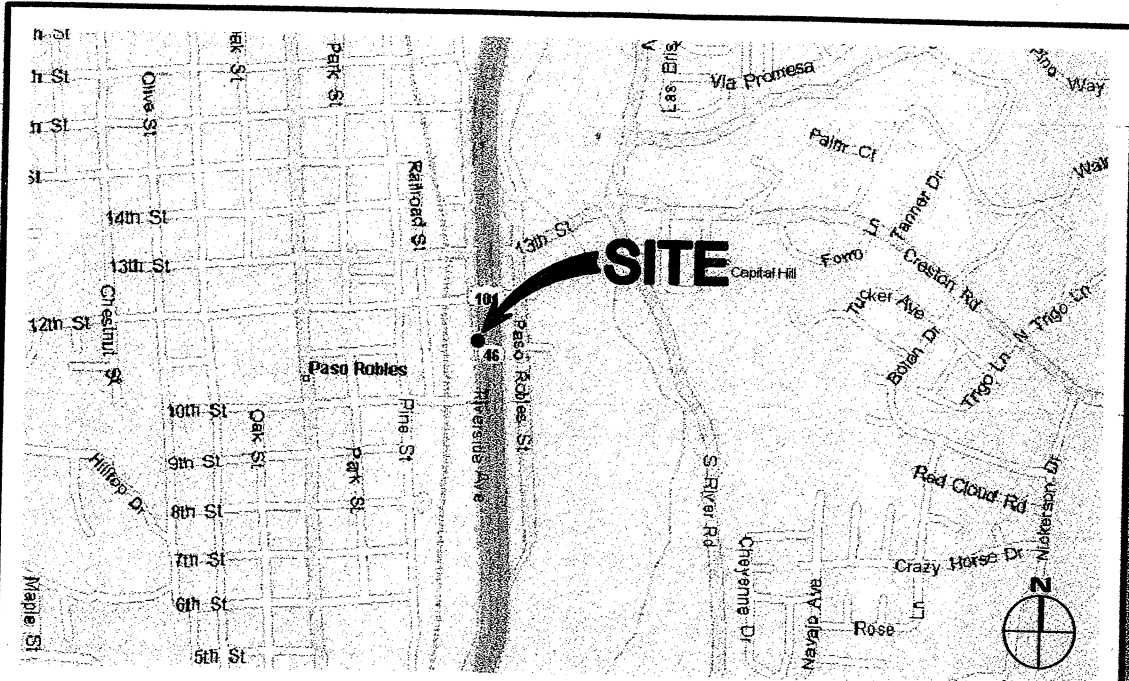
Options: After consideration of any public testimony, the Planning Commission should consider the following options:

- a). Adopt the attached resolution granting approval of Conditional Use Permit 07-002.
- b). Amend, modify or alter the above noted options.

Attachments:

1. Location Map
2. Project Information provided by Applicant
3. Resolution Approving CUP 07-002
4. Newspaper notice and mail affidavits

H:/darren/CUP/CUP07-002Clearwire/StaffReport



DRIVING DIRECTIONS: (FROM SAN LUIS OBISPO AIRPORT)
 DEPART AIRPORT ON TO SR-227 NORTH; CONTINUE ONTO US-101 FOR APPROX.
 28 MI. EXIT ONTO PASO ROBLES ST.; TURN LEFT ONTO 13TH ST. UNDER
 OVERPASS; TURN LEFT ONTO RIVERSIDE AVE., CONTINUE 1.5 BLOCKS TO SITE.

VICINITY MAP

SCALE: NTS

Vicinity Map
 CUP 07-002
 1111 Riverside
 (Clearwire)

1111 Riverside Ave
The Granary
Paso Robles, CA 93446
APN: 009-108-005
Project Description/Justification Statement

Introduction

Clearwire Technologies, Inc. (Clearwire) in partnership with Parsons is currently expanding their state-of-the-art wireless communication network throughout California. Clearwire provides services that allow for a wireless modem that can be plugged into a desktop computer, a laptop, or a local network. It operates by transmitting signals to and from nearby transmitting facilities instead of using a traditional phone line. This allows for flexibility and freedom, whereby you can set up the modem anywhere in your home, office, local coffee shop – upstairs or downstairs, inside or outside. The Clearwire connection is always-on, and always-secure.

Proposal

Whenever possible, Clearwire prioritizes location of new capacity at existing facilities rather than developing new ones. Clearwire is seeking permission to expand a wireless communication facility located at 1111 Riverside Ave. This facility is part of a larger expansion plan for the City of Paso Robles and nearby communities.

Clearwire is proposing to add three panel antennas, three BTS units and two microwave antennas on an existing \pm 65' building. All of the proposed antennas are to be screened as to not be visible to the public. Clearwire proposes to use radio frequency "friendly" material in front of the antennas that will match the existing louvers in scale, color and texture (please see attached photos).

Once the construction of the wireless facility is complete, visitation to the site by service personnel for routine maintenance typically occurs an average of once per month. The site is entirely self-monitored and connects directly to a central office where sophisticated computers alert personnel to any equipment malfunction. Because the wireless facility will be unstaffed, there will be no regular hours of operation and no impact to existing local traffic patterns. Water and sanitation services are not required for this facility. There are no advertising or signage elements proposed, except signs required by the FCC and facility emergency contact information.

Clearwire will comply with safety requirements of the Uniform Building Code, the California Public Utility Commission, as well as all other applicable regulations and permits, FCC rules governing construction requirements, technical standards, interference protection, power, height limitations, radio frequency standards and FAA rules governing construction and operation. If



the Clearwire equipment is unused or becomes obsolete, it will be removed within six months after its operation has ceased.

Justification Statement

The rapidly increasing use of the internet for business, education, safety, and personal needs has led to the high demand and high expectations for expanded and improved wireless communication services. The rapid growth taking place within the City Paso Robles and increasingly mobile way of conducting business within the region, have significantly increased the demand for wireless communication services.

Clearwire engineers have conducted analysis of the existing network and services in the area. The Riverside Ave location is an integral part of the overall wireless communication service network that Clearwire is proposing in the City of Paso Robles in order to provide for the expectations and needs of Paso Robles businesses, educators, and residents.

The FCC mandates that licensed service providers comply with stringent requirements such as providing high quality coverage to the general public within a very aggressive timeframe. Sufficient wireless coverage not only meets the general service expectations of wireless customers, but also enhances the economic vitality of local businesses.

Site Selection

This location was selected because it is an integral part of the overall network currently being proposed by Clearwire to provide internet access throughout the City. In reviewing alternatives that meet the overall Clearwire network objective for providing the City with high quality, secure, wireless, internet communications; the development of a new, pole/structure would have been required in lieu locating at this existing site facility.

Summary

The new Clearwire facility will provide “State-of-the-Art” internet wireless communication services to the City and become an important part of the area’s infrastructure for future businesses, educators, safety personnel, and residents. Clearwire respectfully requests approval of this application.



RESOLUTION NO: _____

A RESOLUTION OF THE PLANNING COMMISSION
OF THE CITY OF EL PASO DE ROBLES
TO APPROVE CONDITIONAL USE PERMIT 07-002
(CINGULAR WIRELESS)
APN: 009-108-005

WHEREAS, Section 21.16.200 of the Municipal Code of the City of El Paso de Robles requires approval of a Conditional Use Permit for transmission and receiving stations in the M-PD zoning district; and

WHEREAS, the applicant, Clearwire, has filed a Conditional Use Permit application to construct a wireless communication facility within the existing building located at 1111 Riverside Avenue; and

WHEREAS, the facility would have a camouflaged design, consisting of 3 panel antennas and 2 microwave antennas, that would be integrated into the building and not be visible; and

WHEREAS, separate equipment would be located inside of the building; and

WHEREAS, and since the antennas and equipment will not be visible, the project would be consistent with Land Use Element Policy 2B, relating to visual identity, including utility infrastructure; and

WHEREAS, a public hearing was conducted by the Planning Commission on April 24, 2007, to consider the facts as presented in the staff report prepared for this project, and to accept public testimony regarding this conditional use permit request; and

WHEREAS, based upon the facts and analysis presented in the staff report and public testimony received and subject to the conditions of approval listed below, the Planning Commission finds that the establishment, maintenance or operation for the requested use or building applied for would be consistent with the General Plan, and will not, under the circumstances of the particular case, be detrimental to the health, safety, morals, comfort, convenience and general welfare of the persons residing or working in the neighborhood of such proposed use, or be injurious or detrimental to property and improvements in the neighborhood or to the general welfare of the City.

NOW, THEREFORE, BE IT RESOLVED, that the Planning Commission of the City of

El Paso de Robles does hereby approve Conditional Use Permit 07-002 subject to the following conditions:

1. The project shall be constructed so as to substantially conform with the following listed exhibits and conditions established by this resolution:

<u>EXHIBIT</u>	<u>DESCRIPTION</u>
A	Title Sheet
B	Site Plan
C	Floor Plans
D-1	North Elevation
D-2	South & East Elevation
D-3	West Elevation
E	Equipment Plan

2. This Conditional Use Permit (CUP) authorizes the construction of a wireless communication facility within the building located at 1111 Riverside Avenue, where the antenna panels would be architecturally integrated into the building and the equipment would be located within the building, in a manner described in attached exhibits and as required by the conditions contained within this resolution.
3. This project approval shall expire on April 24, 2009, unless a building permit is issued for the project, or unless a time extension request is filed with the Community Development Department prior to expiration.
4. The site shall be developed and maintained in accordance with the approved plans and unless specifically provided for through the Planned Development process shall not waive compliance with any sections of the Zoning Code, all other applicable City Ordinances, and applicable Specific Plans.
5. Prior to occupancy, all conditions of approval shall be completed to the satisfaction of the City Engineer and Community Developer Director or his designee.
6. Any site specific condition imposed by the Planning Commission in approving this project may be modified or eliminated, or new conditions may be added, provided that the Planning Commission shall first conduct a public hearing in the same manner as required for the approval of this project. No such modification shall be made unless the Commission finds that such modification is necessary to protect the public interest and/or neighboring properties, or, in the case of deletion of an existing condition, that such action is necessary to permit reasonable operation and use for this approval.

PASSED AND ADOPTED THIS 24th day of April, 2007 by the following Roll Call Vote:

AYES:

NOES:

ABSENT:

ABSTAIN:

CHAIRMAN, MARGARET HOLSTINE

ATTEST:

RON WHISENAND, SECRETARY OF THE PLANNING COMMISSION

H:\darren\CUP07-002\Clearwire\.resolution



1111 RIVERSIDE AVENUE
PASO ROBLES, CA 93446
TEL: 805.226.1372
FAX: 805.226.4811

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RELEASE	DATE	BY
1882006	1/20/07	JD BROWN
1884007	1/20/07	JD FINAL
1884007	1/20/07	JD FINAL REV 1
2414007	1/20/07	JD FINAL REV 2

clearw're
CLEARWIRE U.S., LLC
3300 15TH AVENUE, SUITE 100
KIRKLAND WASHINGTON 98033
PHONE: 425.871.8200
FAX: 425.871.8201

REVISIONS	NO.	DATE	DESCRIPTION
1			
2			
3			
4			

SITE NAME
THE GRANARY

SITE NUMBER
SLO004

PERM. JOB NUMBER
260865

SITE ADDRESS
1111 RIVERSIDE AVENUE
PASO ROBLES, CA 93446

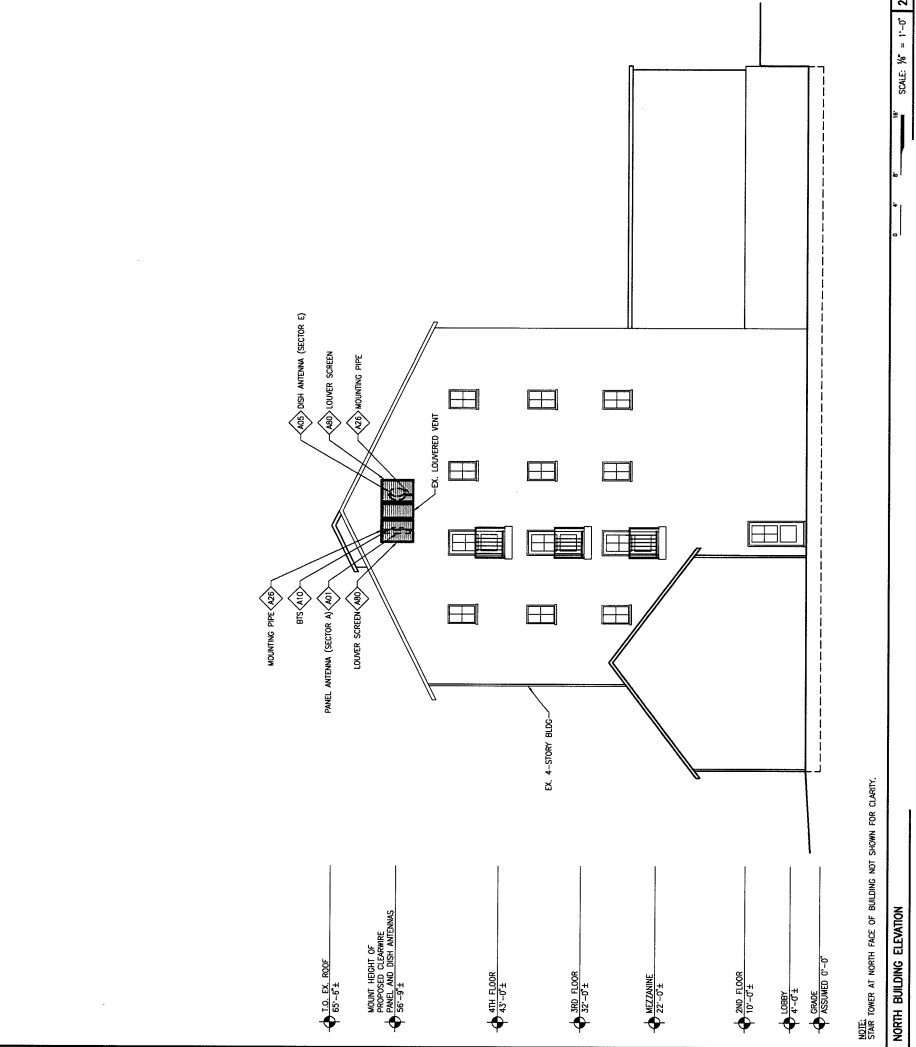
SHEET TITLE
NORTH BUILDING ELEVATION

SHEET NUMBER
A-3

PROJECT SCALE: 1/4" = 1'-0" 1/8" = 1'-0" 1/16" = 1'-0"

I	DESCRIPTION	SEE REFERENCE
41	PROPOSED CLEARWIRE PANEL ANTENNA, SECTOR A	6
42	PROPOSED CLEARWIRE DISH ANTENNA, SECTOR E	7
43	PROPOSED CLEARWIRE RFS UNIT	8
44	PROPOSED CLEARWIRE ANTENNA MOUNTING PIPE, TYP	9
45	PROPOSED CLEARWIRE ANTENNA MOUNTING PIPE, TYP SCREEN TO BE INSTALLED	10

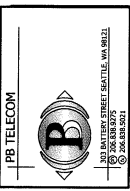
KEY NOTE LEGEND



NOTE:
STAIR TOWER AT NORTH FACE OF BUILDING NOT SHOWN FOR CLARITY.

NORTH BUILDING ELEVATION

Exhibit D-1
North Elevation
CUP 07-002
(Clearwire)



STREET LIGHTS, WA, BELLS
1000 10TH AVENUE
PASO ROBLES, CA 93446

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clearw're
CLEARWIRE U.S., LLC
8888 LAKE WASHINGTON BLVD. SUITE 300
KIRKLAND, WASHINGTON 98033
PHONE 425.678.9201
FAX 425.678.9201

REVISIONS
NO. DATE
1
2
3
4
5
6
7
8
9
10

SITE NAME
THE GRANARY

SITE NUMBER
SLO004

PERM NUMBER
260865

IN HOUSE DRAWN BY: EK
DECORATED BY: ES

SITE ADDRESS
1111 RIVERSIDE AVENUE
PASO ROBLES, CA 93446

SHEET TITLE
SOUTH BUILDING ELEVATION,
EAST BUILDING ELEVATION

SHEET NUMBER

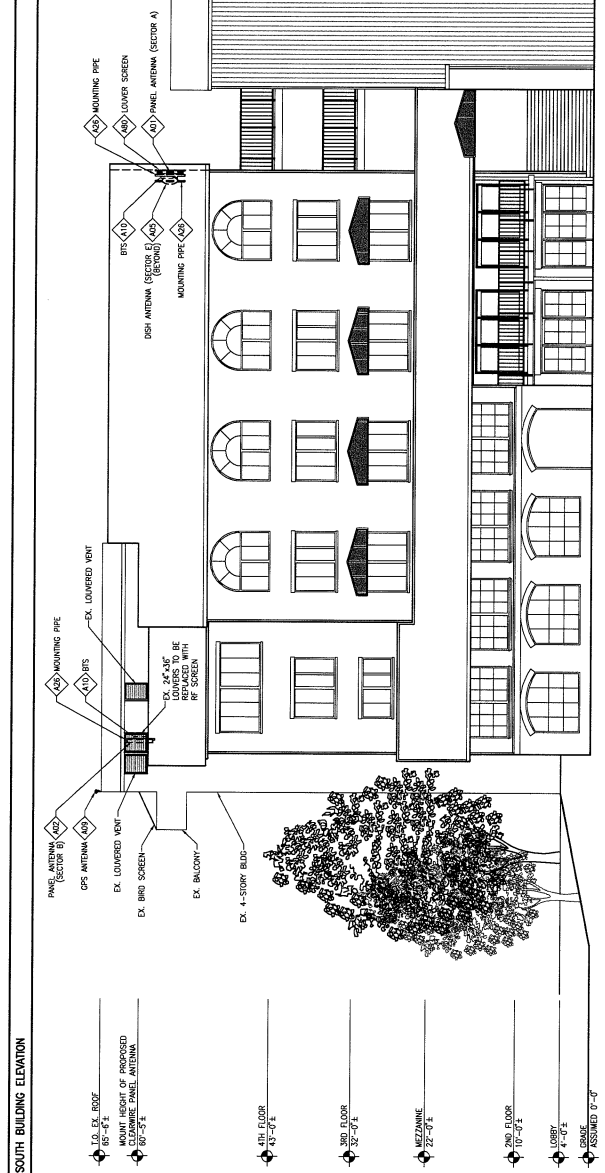
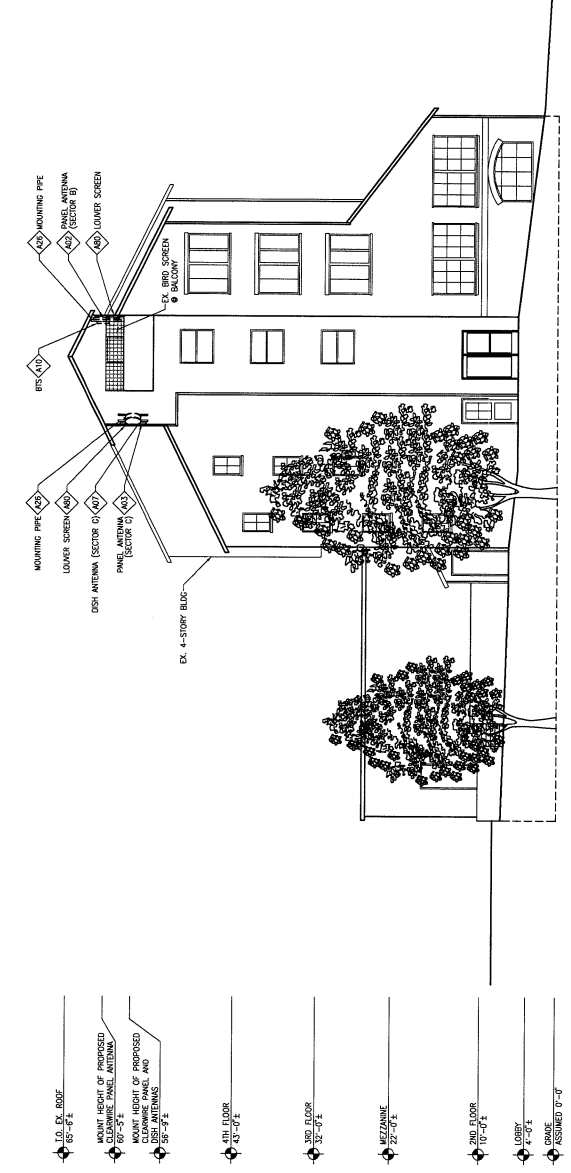
A-4
PLOT SCALE: 1" = 24'-0" (1:288)
SHEET SCALE: 1" = 11'-0" (1:132)

KEY	DESCRIPTION	SEE REFERENCE
401	PROPOSED CLEARWIRE PANEL ANTENNA, SECTOR A	4-3
402	PROPOSED CLEARWIRE PANEL ANTENNA, SECTOR B	4-3
403	PROPOSED CLEARWIRE PANEL ANTENNA, SECTOR C	4-3
404	PROPOSED CLEARWIRE DISH ANTENNA, SECTOR E	4-3
405	PROPOSED CLEARWIRE DISH ANTENNA, SECTOR G	4-3
406	PROPOSED CLEARWIRE GPS ANTENNA	4-3
407	PROPOSED CLEARWIRE BITS UNIT	4-3
408	PROPOSED CLEARWIRE ANTENNA MOUNTING PIPE, TIP SCREEN TO BE INSTALLED	4-3

KEY NOTE LEGEND

EX. 4-3 STORY BLDG.	EXISTING 4-3 STORY BUILDING
EX. 4TH FLOOR	EXISTING 4TH FLOOR
EX. MEZZANINE	EXISTING MEZZANINE
EX. 2ND FLOOR	EXISTING 2ND FLOOR
EX. 1ST FLOOR	EXISTING 1ST FLOOR
EX. GRAVE	EXISTING GRAVE
ASSUMED 0'-0"	ASSUMED ELEVATION

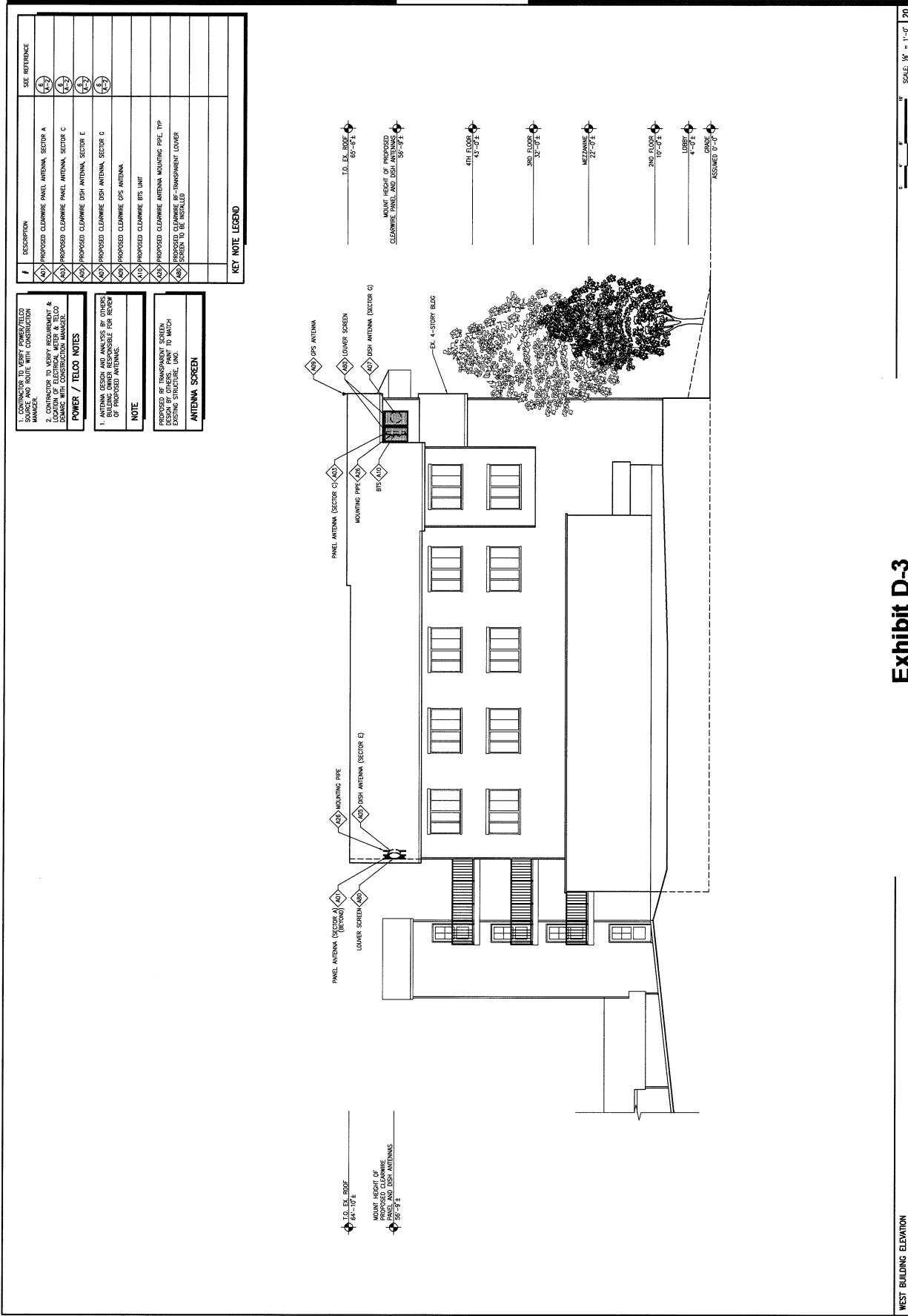
- POWER / TELCO NOTES**
- CONTRACTOR TO VERIFY POWER/TELCO SOURCE AND ROUTE WITH CONSTRUCTION MANAGER.
 - CONTRACTOR TO VERIFY REQUIREMENTS & LOCATION OF ELECTRICAL METERS & TELCO DEVICES WITH CONSTRUCTION MANAGER.
- NOTE**
- ANTENNA DESIGN AND ANALYSIS BY OTHERS. CONTRACTOR IS RESPONSIBLE FOR REVIEW OF PROPOSED ANTENNAS.
- ANTENNA SCREEN**
- PROPOSED OF TRANSPARENT SCREEN. CONTRACTOR TO VERIFY FINISH PAINT TO MATCH EXISTING BUILDING AND FINISH.



SOUTH BUILDING ELEVATION
SCALE: 1/8" = 1'-0" (1:96)

EAST BUILDING ELEVATION
SCALE: 1/8" = 1'-0" (1:96)

Exhibit D-2
South & East Elevation
CUP 07-002
(Clearwire)



1. CONTRACTOR TO VERIFY POWER/TELCO MANAGER AND ROUTE WITH CONSTRUCTION MANAGER.

2. CONTRACTOR TO VERIFY REQUIREMENT & LOCATION OF ELECTRICAL METER & TELCO MOUNTING PANEL FOR ALL ANTENNAS.

POWER / TELCO NOTES

1. ANTENNA DESIGN AND ANALYSIS BY OTHERS. CONTRACTOR TO VERIFY MOUNTING PANEL FOR ALL ANTENNAS OF PROPOSED ANTENNAS.

NOTE

1. ANTENNA MOUNTING SCREENS TO BE INSTALLED ON EXISTING STRUCTURE, UNLESS OTHERWISE NOTED.

ANTENNA SCREEN

#	DESCRIPTION	SEE REFERENCE
401	PROPOSED CLEARWIRE PANEL ANTENNA, SECTOR A	(A)
402	PROPOSED CLEARWIRE PANEL ANTENNA, SECTOR C	(C)
403	PROPOSED CLEARWIRE DISH ANTENNA, SECTOR E	(E)
404	PROPOSED CLEARWIRE DISH ANTENNA, SECTOR G	(G)
405	PROPOSED CLEARWIRE BITS ANTENNA	(B)
406	PROPOSED CLEARWIRE BITS UNIT	(B)
407	PROPOSED CLEARWIRE ANTENNA MOUNTING PIPE, TYP	(A)
408	PROPOSED CLEARWIRE SCREEN-TRANSPARENT LOWER SCREEN TO BE INSTALLED	(A)

KEY NOTE LEGEND

RELEASE	DATE	ZDI REVIEW
18JAN09	ZDI REVIEW	
19JAN07	ZDI FINAL	
18JAN07	ZDI FINAL REV 1	
24JAN07	ZDI FINAL REV 2	

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Clearwire
 CLEARWIRE US, LLC
 3002 LANE WASHINGTON BLVD, SUITE 300
 KIRKLAND, WASHINGTON 98033
 PHONE: 425.294.7800
 FAX: 425.671.6201

REVISIONS

NO.	DATE	DESCRIPTION

SITE NAME
 THE GRANARY

SITE NUMBER
 SLO0004

PROJ. JOB NUMBER
 260866

CHECKED BY: E.S.
DESIGNED BY: E.S.
DATE: 11/11/11
 11111 RIVERSIDE AVENUE
 PASO ROBLES, CA 93446

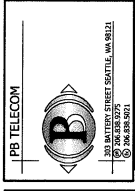
SHEET TITLE
 WEST BUILDING ELEVATION

SKETCH NUMBER
 A-5

WEST BUILDING ELEVATION

SCALE: 1/8" = 1'-0"

Exhibit D-3
West Elevation
CUP 07-002
(Clearwire)



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DATE	RELEASE
10/04/07	2D FINAL
10/20/07	2D FINAL REV 1
2/4/08	2D FINAL REV 2

Clearwire
 CLEARWIRE U.S. LLC
 800 5TH AVENUE, SUITE 2000
 SEATTLE, WA 98101
 PHONE: 425.676.2000
 FAX: 425.676.2001

NO.	DATE	REVISIONS

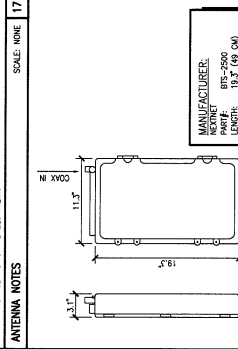
THE GRANARY
 SITE NAME

SITE NUMBER: SLO004
 PROJECT NUMBER: 260866
 SITE ADDRESS: 1111 RIVERSIDE AVENUE, PASO ROBLES, CA 93446

SHEET TITLE: ANTENNA DETAILS, EQUIPMENT DETAILS
 SHEET NUMBER: A-6

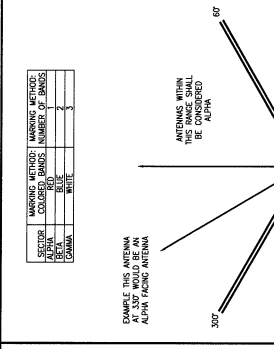
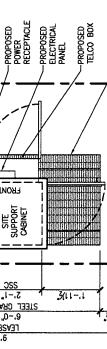
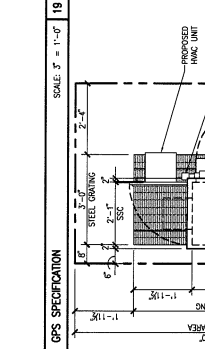
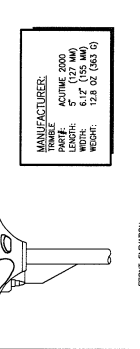
DATE: 10/24/07 10:24 AM

- CONTRACTOR TO PROVIDE COMPLETE SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION.
- CONTRACTOR TO NOTIFY PRODUCT MANAGER OF ANY DISCREPANCIES WITH THE PROPOSED LAYOUT PRIOR TO PROCEEDING.
- ALL ANTENNAS SHALL BE MOUNTED TO A STRUCTURE THAT IS CAPABLE OF WITHSTANDING WIND LOADS. BRACKETS, PLATES AND MISCELLANEOUS HARDWARE TO BE GALVANIZED UNLESS OTHERWISE NOTED.
- ALL ANTENNAS AND COAXIAL ANTENNA CABLE TO BE UNGUISHED BY LESSEE/OPERATOR AND INSTALLED BY CONTRACTOR.
- ALL HARDWARE AND CONNECTORS TO BE GALVANIZED UNLESS OTHERWISE NOTED.
- ANTENNA MOUNT DETAILS SHOWN IN THIS DRAWING SET ARE FOR INFORMATION AND LAYOUT ONLY. DESIGN AND ANALYSIS BY OTHERS.
- ALL ANTENNA CABLES/CONNECTORS TO BE WEATHERPROOFED PER MANUFACTURER SPECIFICATIONS.
- ALL CABLE TIES EXPOSED TO THE ELEMENTS SHALL BE UV STABILIZED BACK-UP TO UV WIND BREAK STRENGTH.
- ALL CABLES SHALL BE INSTALLED WITH A MINIMUM OF 18" CLEARANCE FROM THE EQUIPMENT TO ACT AS BOTH A WIND BRACKET POINT AND TO ACT AS A SERVICE LOOP FOR SERVICING THE EQUIPMENT.



ANTENNA NOTES

MANUFACTURER: BTE-2600
 PART#: BTE-2600
 LENGTH: 11.5" (29.2 CM)
 WIDTH: 19.5" (49.5 CM)
 DEPTH: 1.1" (2.8 CM)
 WEIGHT: 35 LBS (16 KG)



ANTENNA NOTES

EXAMPLE: THIS ANTENNA AT 307" WOULD BE AN ACTIVE FACING ANTENNA.

ANTENNAS WITHIN THIS RANGE SHALL BE CONSIDERED ACTIVE.

ANTENNAS WITHIN THIS RANGE SHALL BE CONSIDERED ACTIVE.

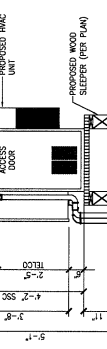
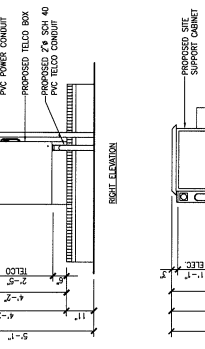
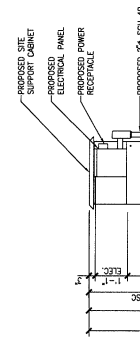
ANTENNAS WITHIN THIS RANGE SHALL BE CONSIDERED ACTIVE.

LEVEL MARKERS FOR ITS POWER/FIBER CABLE (3 SECTOR SITE)

SCALE: NONE 14

CONCATENATED SHALL BE TAPPED AT (3) PLACES USING 1" WIRE WATERPROOF COLORED VINYL TAPE, AS FOLLOWS:

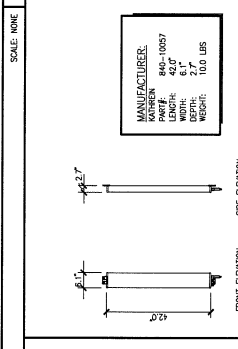
- (A) END OF MAIN FIBER NET RUN WHERE THE CONNECTOR CONNECTS TO THE BITS
- (B) ON THE JUMPER AT A POINT OUTSIDE THE EQUIPMENT CABINET JUST PRIOR TO THE MAIN WAVEGUIDE RUN WHERE THE CABLE CONNECTS TO THE MW JUNCTION



EQUIPMENT PLAN

SCALE: 1/2" = 1'-0"

ITEM	MANUFACTURER	MODEL / PART NO.
1.00	SHILU	8000-1007
1.01	SHILU	8000-1007
1.02	SHILU	8000-1007
1.03	SHILU	8000-1007
1.04	SHILU	8000-1007
1.05	SHILU	8000-1007
1.06	SHILU	8000-1007
1.07	SHILU	8000-1007
1.08	SHILU	8000-1007
1.09	SHILU	8000-1007
1.10	SHILU	8000-1007
1.11	SHILU	8000-1007
1.12	SHILU	8000-1007
1.13	SHILU	8000-1007
1.14	SHILU	8000-1007
1.15	SHILU	8000-1007
1.16	SHILU	8000-1007
1.17	SHILU	8000-1007
1.18	SHILU	8000-1007
1.19	SHILU	8000-1007
1.20	SHILU	8000-1007
1.21	SHILU	8000-1007
1.22	SHILU	8000-1007
1.23	SHILU	8000-1007
1.24	SHILU	8000-1007
1.25	SHILU	8000-1007
1.26	SHILU	8000-1007
1.27	SHILU	8000-1007
1.28	SHILU	8000-1007
1.29	SHILU	8000-1007
1.30	SHILU	8000-1007
1.31	SHILU	8000-1007
1.32	SHILU	8000-1007
1.33	SHILU	8000-1007
1.34	SHILU	8000-1007
1.35	SHILU	8000-1007
1.36	SHILU	8000-1007
1.37	SHILU	8000-1007
1.38	SHILU	8000-1007
1.39	SHILU	8000-1007
1.40	SHILU	8000-1007
1.41	SHILU	8000-1007
1.42	SHILU	8000-1007
1.43	SHILU	8000-1007
1.44	SHILU	8000-1007
1.45	SHILU	8000-1007
1.46	SHILU	8000-1007
1.47	SHILU	8000-1007
1.48	SHILU	8000-1007
1.49	SHILU	8000-1007
1.50	SHILU	8000-1007



PANEL ANTENNA SPECIFICATION

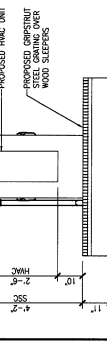
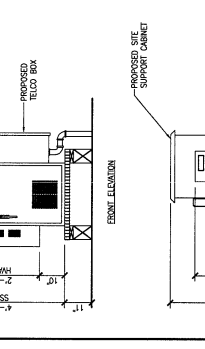
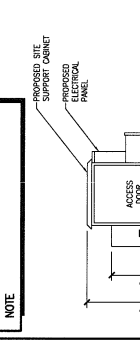
SCALE: 1/2" = 1'-0"

1. ALL TELCO BOX PENETRATIONS SHALL BE PROPERLY SEALED.

2. ALL TELCO BOX PENETRATIONS SHALL BE PROPERLY SEALED.

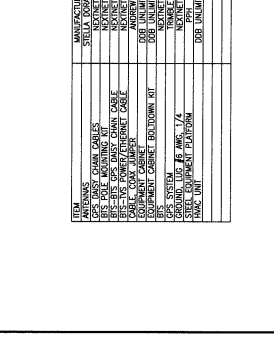
3. ALL TELCO BOX PENETRATIONS SHALL BE PROPERLY SEALED.

4. ALL TELCO BOX PENETRATIONS SHALL BE PROPERLY SEALED.



EQUIPMENT PLAN

SCALE: 1/2" = 1'-0"



DISH ANTENNA SPECIFICATIONS

SCALE: 1" = 1'-0"

MANUFACTURER: BTE-2600
 PART#: BTE-2600
 LENGTH: 24.57" (624 MM)
 WIDTH: 16.25" (413 MM)
 DEPTH: 11.35" (289 MM)
 WEIGHT: 27 LBS

NOTE

1. ALL TELCO BOX PENETRATIONS SHALL BE PROPERLY SEALED.

2. ALL TELCO BOX PENETRATIONS SHALL BE PROPERLY SEALED.

3. ALL TELCO BOX PENETRATIONS SHALL BE PROPERLY SEALED.

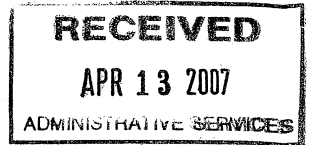
4. ALL TELCO BOX PENETRATIONS SHALL BE PROPERLY SEALED.



EQUIPMENT PLAN

SCALE: 1/2" = 1'-0"

Exhibit E Equipment Plan CUP 07-002 (Clearwire)



THE Newspaper of the Central Coast
TRIBUNE

3825 South Higuera • Post Office Box 112 • San Luis Obispo, California 93406-0112 • (805) 781-7800

In The Superior Court of The State of California
In and for the County of San Luis Obispo
AFFIDAVIT OF PUBLICATION

AD #6565445
CITY OF PASO ROBLES

STATE OF CALIFORNIA,

ss.

County of San Luis Obispo

I am a citizen of the United States and a resident of the County aforesaid; I am over the age of eighteen and not interested in the above entitled matter; I am now, and at all times embraced in the publication herein mentioned was, the principal clerk of the printers and publishers of THE TRIBUNE, a newspaper of general circulation, printed and published daily at the City of San Luis Obispo in the above named county and state; that notice at which the annexed clippings is a true copy, was published in the above-named newspaper and not in any supplement thereof – on the following dates, to-wit; APRIL 12, 2007, that said newspaper was duly and regularly ascertained and established a newspaper of general circulation by Decree entered in the Superior Court of San Luis Obispo County, State of California, on June 9, 1952, Case #19139 under the Government Code of the State of California.

I certify (or declare) under the penalty of perjury that the foregoing is true and correct.

(Signature of Principal Clerk)

DATED: APRIL 12, 2007
AD COST: \$62.98

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of El Paso de Robles will hold a Public Hearing to consider Conditional Use Permit 07-002, an application submitted by Tricia Knight on behalf of Clearwire LLC, requesting to install a wireless communication facility within the existing Granary Building (Cool Hand Luke's) located at 1111 Riverside Ave.

This hearing will take place in the City Hall/Library Conference Room, 1000 Spring Street, Paso Robles, California, at the hour of 7:30 PM on Tuesday, April 24, 2007, at which time all interested parties may appear and be heard.

This application is Categorically Exempt from environmental review per Section 15303 of the State's Guidelines to Implement the California Environmental Quality Act (CEQA).

Comments on the proposed Conditional Use Permit may be mailed to the Community Development Department, 1000 Spring Street, Paso Robles, CA 93446 provided that such comments are received prior to the time of the hearing.

If you challenge the Conditional Use Permit application in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Planning Commission at, or prior to, the public hearing.

Darren R. Nash, Associate Planner
April 12, 2007

6565445

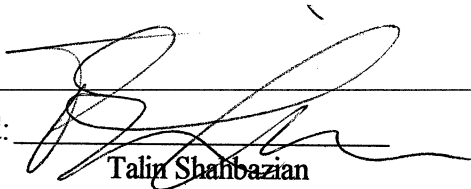
**AFFIDAVIT
OF MAIL NOTICES**

PLANNING COMMISSION/CITY COUNCIL PROJECT NOTICING

I, Talin Shahbazian, employee of the City of El Paso de Robles, California, do hereby certify that the mail notices have been processed as required for Conditional Use Permit 07-002, a request to establish a wireless cellular facility within an existing building, (Applicant, Clearwise / Tricia Knight) on this 12th day of April, 2007.

City of El Paso de Robles
Community Development Department
Planning Division

Signed:



Talin Shahbazian

forms\mailaffi.691